

BUTLER - RESIDENCE

1210 Castle Hill
Austin, Texas 78703

ARCHITECT: CLAYTON & LITTLE ARCHITECTS
1001 EAST 8TH STREET
AUSTIN, TEXAS 78702
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OWNER INFORMATION

JC and Christy Butler
1210 Castle Hill
Austin, TX 78704

LEGAL DESCRIPTION

LOT 36 OLT 6 DIV Z ENFIELD A

SITE INFORMATION

ZONING INFORMATION

Zoning: CS-MU-CO-NP (Commercial Use - Mixed Use)
Future Land Use: MF-3-NP (Multifamily - Medium Density)
Property ID: 109094
Geographic ID: 0110010804
Legal Description: LOT 36 OLT 6 DIV Z ENFIELD A
Date built: 1917
Historic: Yes - National Register of Historic Districts
Neighborhood: Old West Austin - Entfield A
Overlay District: National Register of Historic Districts
Floodplain: No
Watershed: Urban - Shoal Creek
Easements: None Found
Expired Permits: None Found
Trees: Yes - See Survey
Minimum Setbacks: Front yard: 25', Interior side yard 5', Rear yard 10'
Max. Bldg. Height: 40'
Lot Size: 14,959 sf / 0.3434 ac. (per TCAD)
Max Bldg. Coverage: 8,227 (55%) Allowable increase: -
Max Impervious Cover: 9,723 (65%)
Max F.A.R.: 75:1
Parking: - spaces/unit

Conclusions/Concerns:
This building is in a National Register District we may need get special permit approval from Historic Review Board.

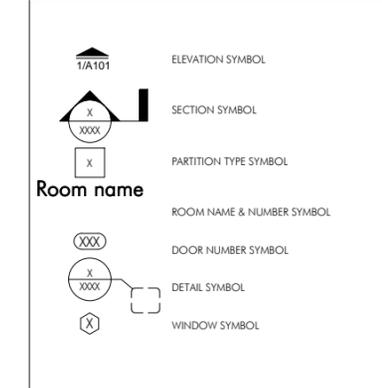
VICINITY MAP



INDEX OF DRAWINGS

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SYMBOL LEGEND



CODE ANALYSIS

BUILDING CODE: INTERNATIONAL RESIDENTIAL BUILDING CODE
BUILDING DESCRIPTION: SINGLE-FAMILY RESIDENTIAL UNIT, IN MF-3-NP ZONED AREA

LEGAL JURISDICTION:

AREA CALCULATIONS:

LOT SIZE - 0,000 S.F.	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR CONDITIONED	1,8001 S.F.	0 S.F.	0 S.F.
2ND FLOOR CONDITIONED	1,8001 S.F.	0 S.F.	0 S.F.
BASEMENT	300 S.F.	0 S.F.	0 S.F.
COVERED PARKING	0 S.F.	850 S.F.	0 S.F.
COVERED PATIO	0 S.F.	0 S.F.	0 S.F.
BALCONY	0 S.F.	14 S.F.	0 S.F.
SCREENED-IN PORCH	0 S.F.	245 S.F.	0 S.F.
SHED	386 S.F.	0 S.F.	0 S.F.
TOTAL BUILDING COVERAGE	2,186 S.F.	0 S.F.	0 S.F.
% BUILDING COVERAGE (0,000 / 00,000) = 00.0%			
DRIVEWAY	2,639 S.F.	0 S.F.	0 S.F.
SIDEWALKS	688 S.F.	0 S.F.	0 S.F.
UNCOVERED PATIO	780 S.F.	0 S.F.	0 S.F.
UNCOVERED WOOD DECK	0 S.F.	0 S.F.	0 S.F.
AC PADS	50 S.F.	0 S.F.	0 S.F.
OTHER	0 S.F.	0 S.F.	0 S.F.
TOTAL NON-BUILDING COVERAGE	4,157 S.F.	0 S.F.	0 S.F.
TOTAL SITE COVERAGE (IMPERVIOUS)	6,343 S.F.	0 S.F.	0 S.F.
% IMPERVIOUS COVER (6,343 / 14,959) = 42%			



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DATE	ISSUED FOR
6.25.14	SD Sketch Concepts
9.9.14	Historic Review

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COVER SHEET

HISTORIC REVIEW
September 9, 2014

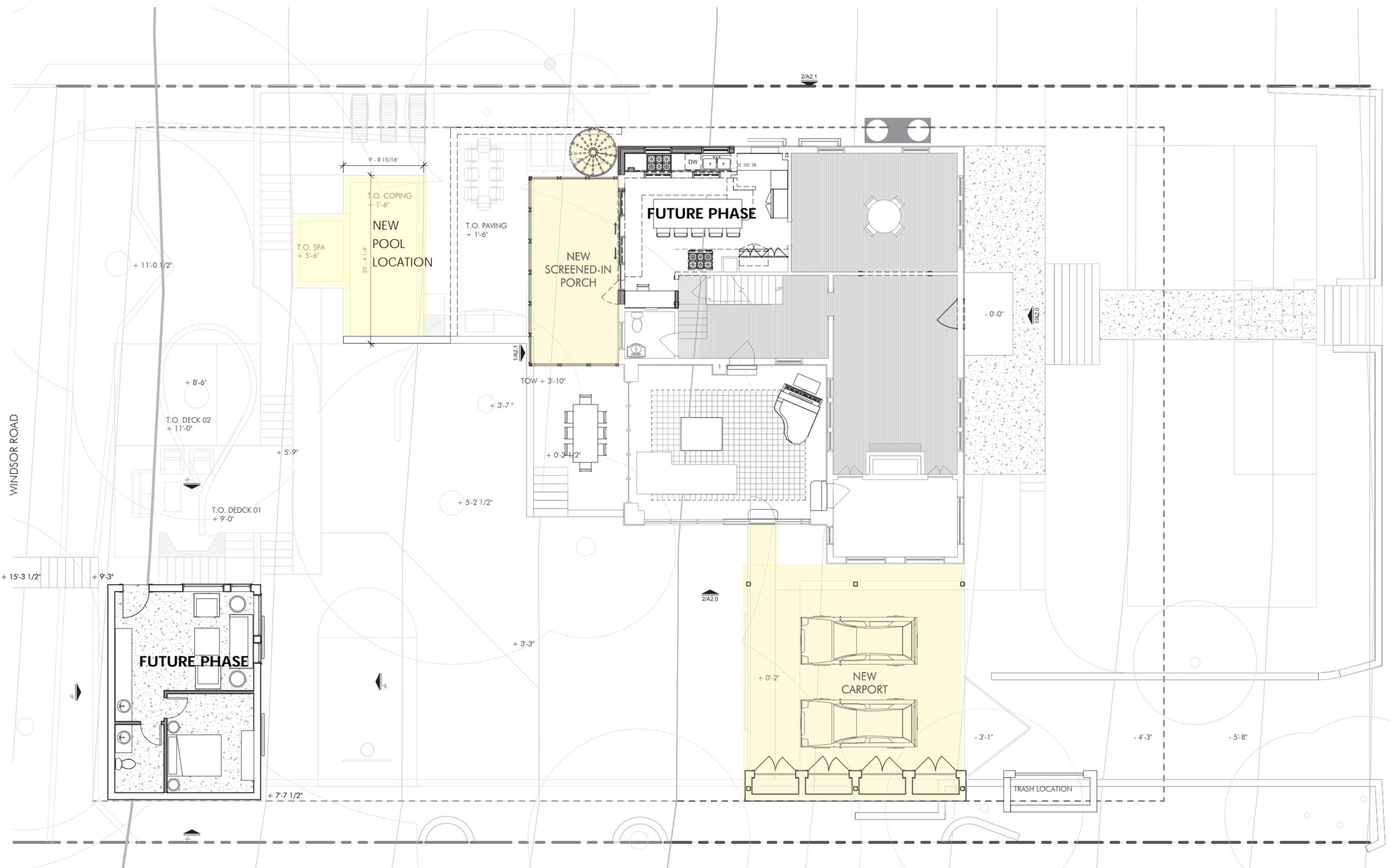
G1.0

PRELIMINARY
NOT FOR CONSTRUCTION

This drawing was prepared under the supervision of Paul Clayton. It is not to be used for regulatory approval, permitting, or construction purposes.

FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.



WINDSOR ROAD

CASTLE HILL STREET (50' R.O.W)

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SITE PLAN- NEW

PROJECT NORTH TRUE NORTH
1 SITE - NEW
3/16" = 1'-0"

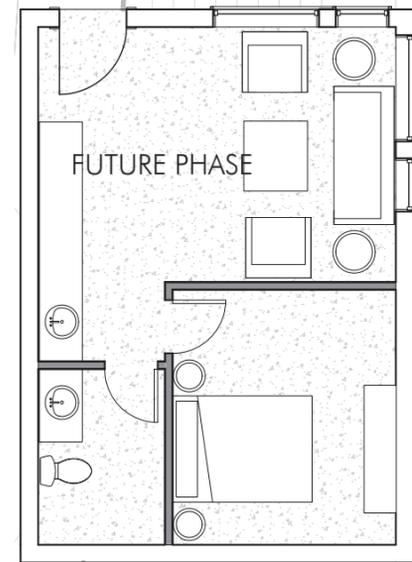
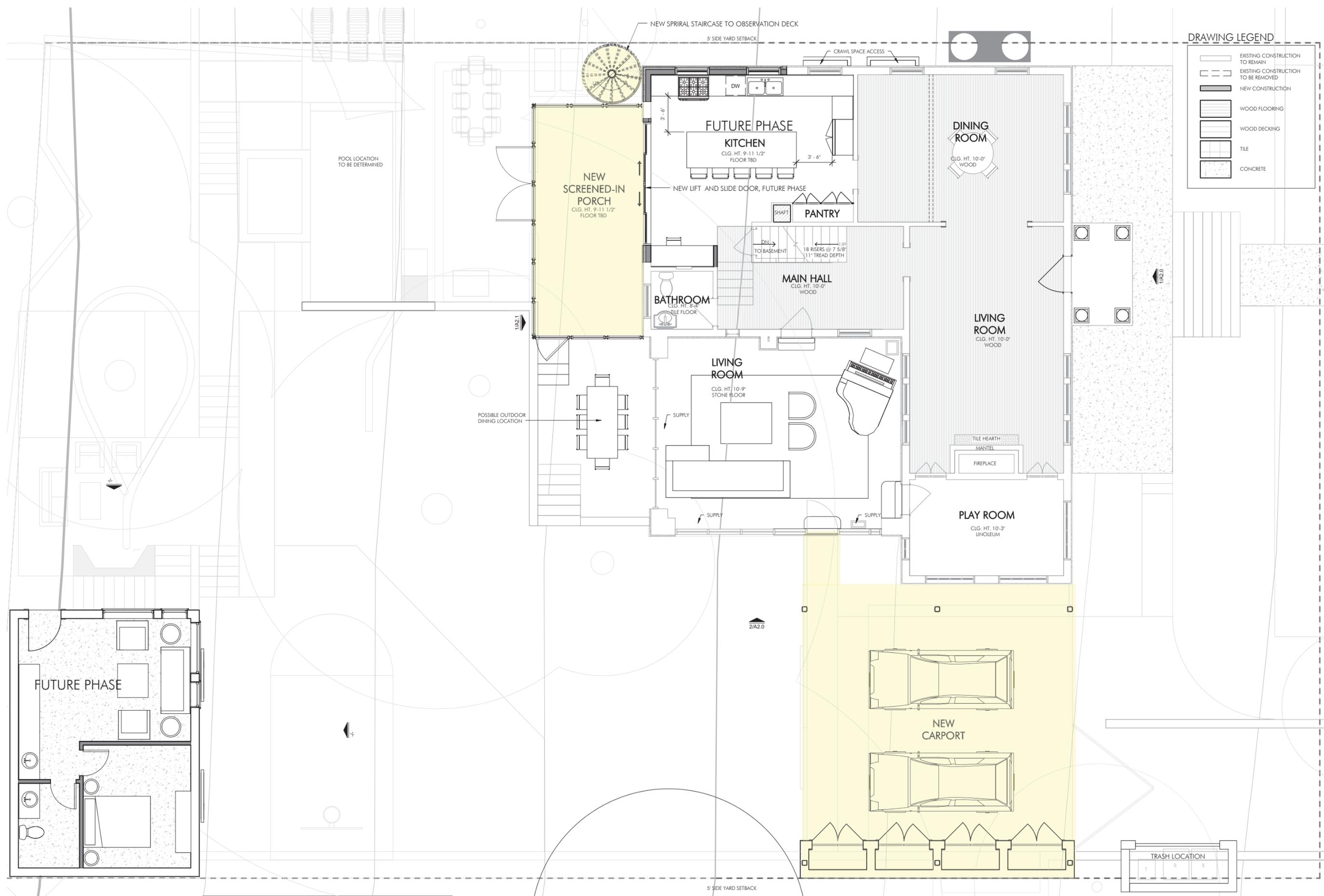
AREA INCLUDED IN
PHASE ONE OF SCOPE

Ao.1

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DRAWING LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	WOOD FLOORING
	WOOD DECKING
	TILE
	CONCRETE



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AREA INCLUDED IN PHASE 1 SCOPE

1 FIRST FLOOR PLAN - NEW
1/4" = 1'-0"

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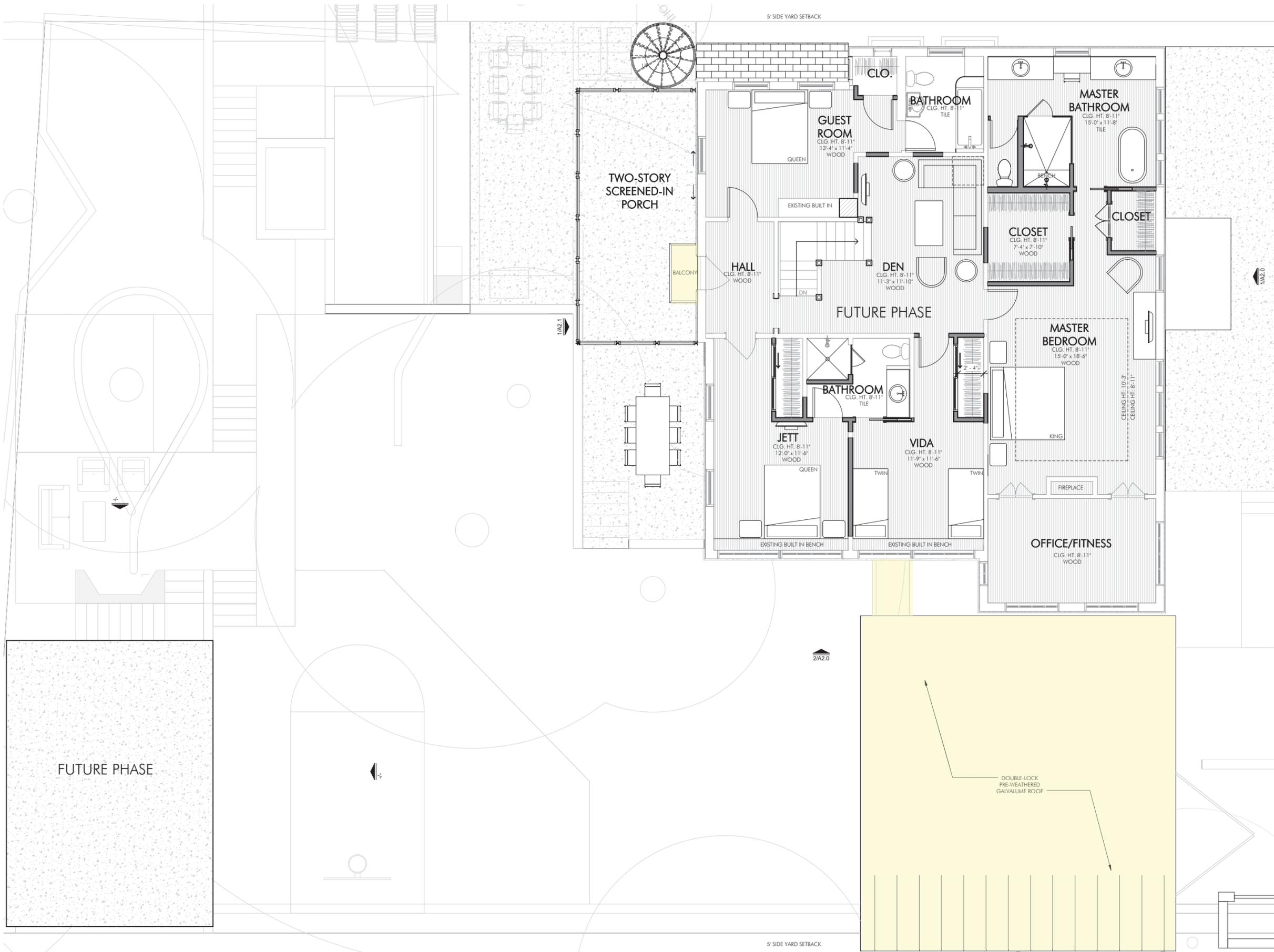
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GROUND FLOOR PLAN

A1.1

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DRAWING LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	WOOD FLOORING
	WOOD DECKING
	TILE
	CONCRETE

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25' FRONT YARD SETBACK

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SECOND FLOOR PLAN

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AREA INCLUDED IN PHASE ONE OF SCOPE

1/4" = 1'-0"

A1.2

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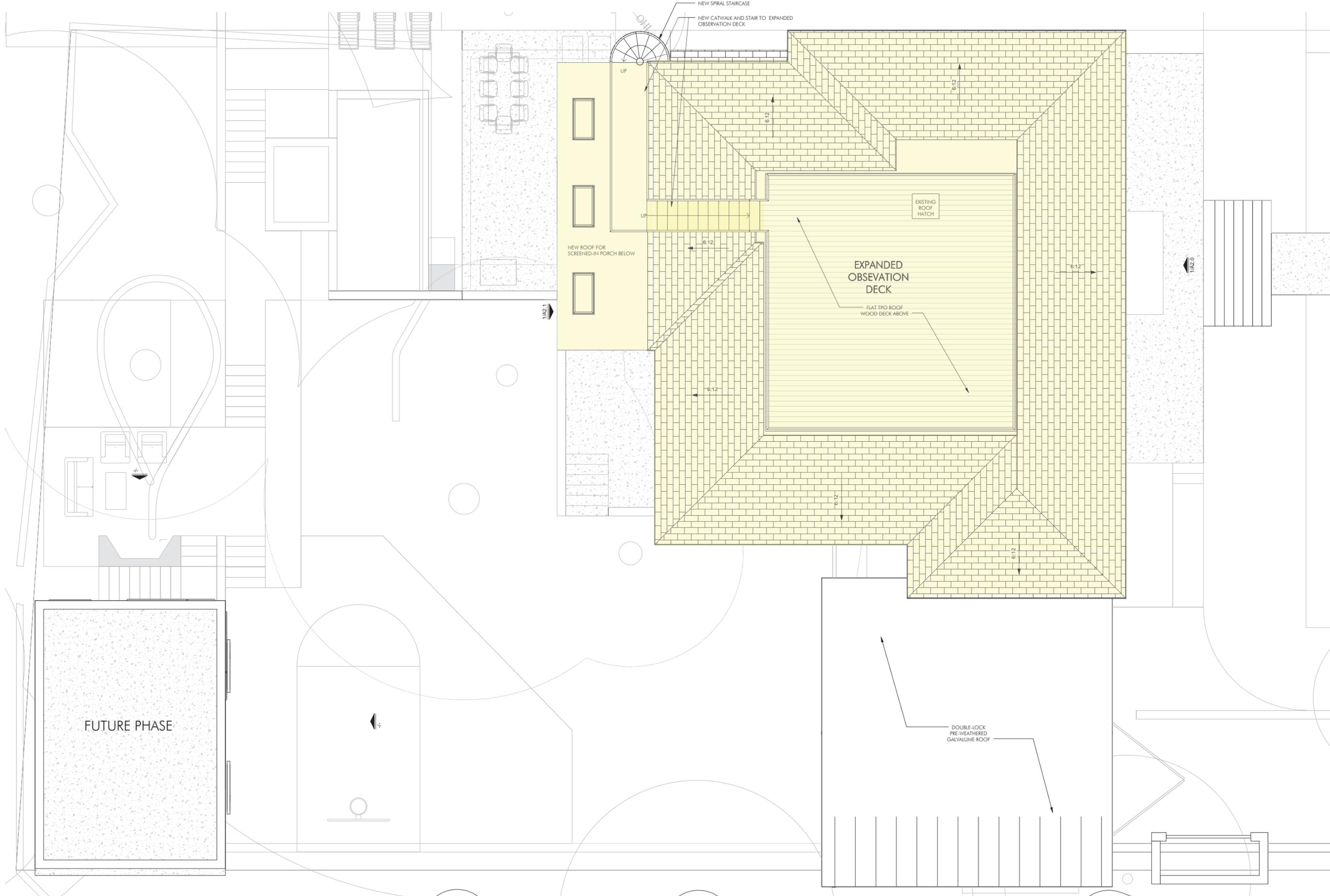
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ROOF PLAN

A1.3



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AREA INCLUDED IN PHASE ONE OF SCOPE

1 ROOF PLAN - NEW
1/4" = 1'-0"

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1 EAST ELEVATION - NEW
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

A2.0



FRONT VIEW OR RESIDENCE



REAR VIEW OR RESIDENCE

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7.10.14	SD Sketch Concept
7.21.14	SD Sketch Concept

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PHOTOS FOR HISTORIC REVIEW

SK.1

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RENDERING

SK.2